

SETTLERS RIDGE COMMUNITY ASSOCIATION, INC.
AMENDED AND RESTATED DESIGN GUIDELINES – RESIDENTIAL UNITS

ADOPTED AUGUST 26, 2019

The following standards are hereby adopted as Design Guidelines pursuant to Section 5.3 of the Declaration and shall be utilized by the Reviewer in considering proposed Improvements (as such terms are defined in the Declaration), subject to the discretion of the Reviewer to approve or disapprove Improvements as provided in the Declaration.

1. Architectural Styles

Homes shall be constructed using one of the following styles of architecture: Colonial, Charleston, Italianate, Victorian, Craftsman or Vernacular. These styles are described in the “Residential Architectural Design Guidelines” included at the conclusion of this document.

2. Required Elements

The front façade must have at least one façade articulation (defined as a break from the primary plane of the structure), consisting of porches, dormers, entry elements, bays, horizontal offsets and/or roofline height variation of at least one story. All porches must have railings.

Side elevations that face a street must have (a) at least one façade articulation as defined above, (b) enhanced window trim and (c) enhanced landscaping.

All corners on all side and rear elevations of a house must have white corner boards unless the wall is constructed of brick, stone or stucco.

3. Materials

Doors shall be constructed of painted or stained wood, hardboard, fiberglass, or metal. Sliding glass doors are permitted only on rear or interior side-yard elevations.

Storm doors must be made of aluminum and of the full-view design; wood, aluminum or similar panels on the lower part of the door are not acceptable. The color must match the color of the front door. The hardware on the storm door must match the color of the front door hardware (knob, lock, etc.).

Windows shall be constructed of wood, metal- or vinyl-clad wood, or vinyl. Mill finished aluminum is not permitted.

Exterior walls shall be constructed of brick, stone, stucco, painted smooth (non-textured) hardboard, smooth-face fiber-reinforced cement board, manufactured wood “smart siding”, stained cedar shingles or simulated painted shingles, or painted smooth wood. Wall material changes must occur (a) along a horizontal line, typically at a floor line or gable end, or (b) along vertical line articulations.

Roofs may be constructed of random tab architectural asphalt or wood shingle or standing seam metal.

Shutters may be constructed of wood, plastic or fiberglass.

Gutters and downspouts may be constructed of aluminum, vinyl or plastic.

4. Color Palette

Exterior wall siding colors and trim colors must be consistent with other homes within the Settlers Ridge community and be appropriate for the Architectural Style of the home. The primary exterior wall siding color must be different from the homes located on either side and across the street and, for corner lots, behind the home.

5. Decks

Decks shall be permitted on single-family detached and duplex dwellings only. Decks may not be constructed closer than 12 feet from any adjoining lot and 5 feet from any adjoining common area. No deck shall extend beyond the side of the home or be larger than 300 square feet.

Wood decks with an exposed area below the deck greater than 2 feet in height shall be screened with lattice or other decorative screening unless the deck is a second-story deck and the wall below the deck is finished.

Decks must be waterproofed, sealed or stained a natural wood color or other colors consistent with the home. Decking made from composite materials is allowable, but the color must be consistent with the home.

Screens and shade devices must appear as an integral part of the building elevation and must be made of materials that complement the home.

6. Fencing

In order to maintain a consistent appearance within the community, the following requirements will apply to fencing:

Fences are to be constructed of white vinyl / PVC material.

Front and side yard fences for all lots shall be one of the types shown in the following photographs and shall be 36" or 48" high. Fencing of the style in the middle image shall be 36" high at the lowest point with 48" posts.



Rear-yard privacy fencing for all lot types except for open-space adjacency lots (discussed below) shall be one of the types shown in the photos below and shall be 72" high.



“Open-space adjacency lots” have rear yards adjacent to natural space (ponds, prairie buffers or other natural areas) facing the rear of another home located on the opposite side of the natural space; both such lots are open-space adjacency lots. Rear-yard fencing for these lots shall be 48" high and shall be the following style:



Non-corner lots: The location of fences shall be as indicated on the following page for typical alley-load lots (Figure 1) and typical street-load lots (Figure 3). As shown in these illustrations, the portion of the yard considered to be “rear” (requiring a 72” fence) encompasses all areas behind the line that is even with the primary rear elevation of the home; the “side” portion of the yard (36” or 48” fence) is the area forward of the primary rear elevation of the home.

Corner lots: The location of fences for corner lots shall be as specified on the following page for specified corner lots (Figure 2).

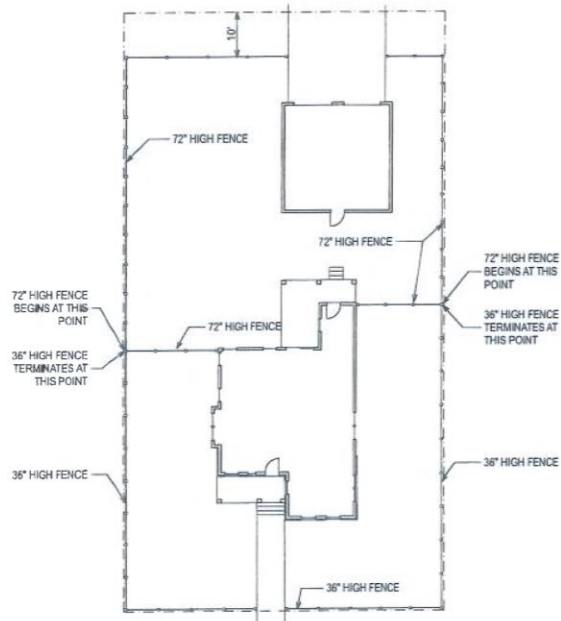


FIG. 1 - TYPICAL LOT - ALLEY LOAD

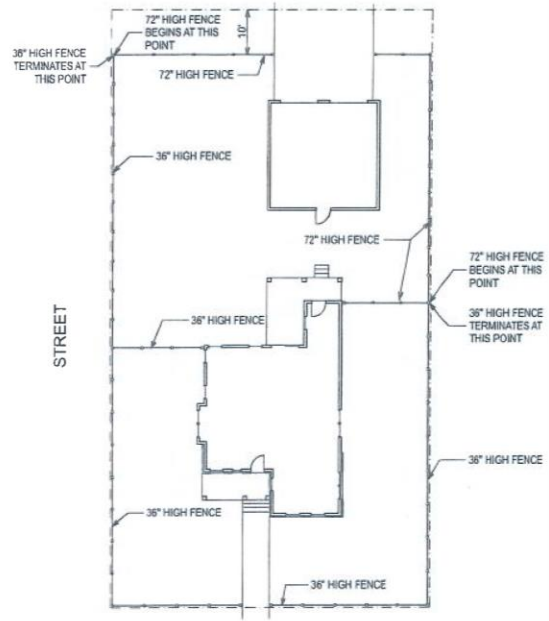


FIG.2 - SPECIFIED CORNER LOTS

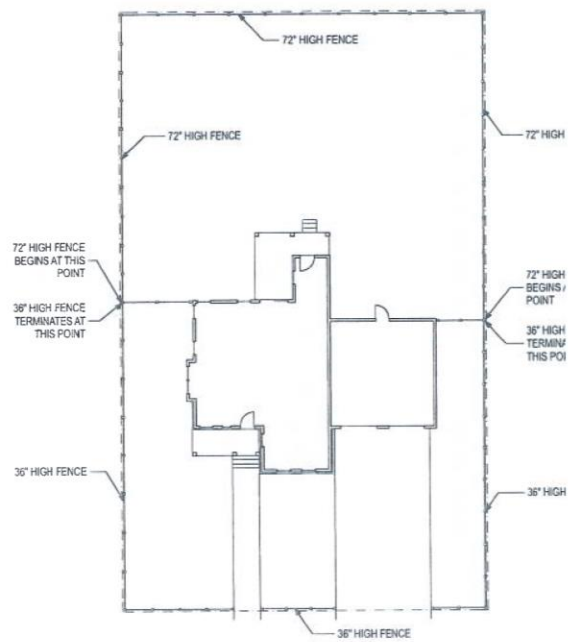



FIG. 3 - TYPICAL LOT - STREET LOAD

7. Mailboxes

Mailboxes shall be consistent in appearance within the community using the following styles or the equivalent:

Item #100004308 Store SKU #442034 Store 3D SKU #100003514



Gibraltar Mailboxes
Elite Medium Galvanized Steel Post-Mount Mailbox, Black





★★★★★ (111) [Write a Review](#) [Questions & Answers \(23\)](#)


- Standard size mailbox that most homeowners prefer
- Fully assembled and ready to install on post
- Durable finish ensures long life for the mailbox

\$18⁹⁸ /each

Choose Your Options

Black









Rockport Plastic Double Mailbox Post, Black

★★★★★ (7) [Write a Review](#) [Questions & Answers \(4\)](#)

[Add to Cart to See Price](#)


Choose Your Options

Black



to List

Quantity



Mayne >




Newport Plus Plastic Mailbox Post, Black

★★★★★ (125) [Write a Review](#) [Questions & Answers \(16\)](#)

[See Lower Price in Cart](#)

Choose Your Options

Black



8. Play Structures

Play structures are permitted on single-family detached and duplex lots only. All play structures shall be constructed of wood or composite material with a wood appearance and must be finished in a natural wood stain. Play structures shall be positioned in rear yards only at least 6 feet inside property lines in all directions. Landscaping or fencing must screen play structures on all corner lots from street view.

9. Pool and Spas

Pools and spas are permitted on single-family detached and duplex lots only. No above-ground pools shall be permitted. In-ground pool and smaller, prefabricated spas or hot tubs may be installed above ground on decks or patios. Above-ground spas or hot tubs shall be decked or skirted and screened with landscaping to hide all plumbing and equipment.

All pools and spas must be enclosed within a fence constructed in compliance with Section 6 of these standards.

Privacy screens for pools or spas shall be set back a minimum of 20 feet from rear property lines and shall not exceed 30 feet in width parallel to the rear property line. Maximum privacy screen height shall not exceed 6 feet. Screening material shall be masonry compatible with the residence, wood fence with finished side out or other similar materials compatible with the residence.

In-ground swimming pool appurtenances shall not be over 6 feet in height. Accessories and equipment shall not be visible from public view. Pool walls shall not encroach on utility easements. Pools cannot be drained onto open space, common areas or any other owner's property.

10. Other Miscellaneous Items

Storage sheds are not permitted.

Dog pens, dog runs and dog houses are not permitted.

Window air-conditioning units and window fans are not permitted in any windows that are visible from streets.

In accordance with 765 ILCS 165 (the Homeowners' Energy Policy Act), "solar energy systems" may be installed on the roof of a home. Approval shall be required for the specific location on the roof where a solar energy system is to be installed with an orientation within 45 degrees east or west of due south, provided that the determination does not impair the effective operation of the solar energy system.

11. Lighting

In order to maintain night-sky views, exterior lighting may not shine above the horizontal plane except for decorative porch lighting. Exterior decorative flood lights are not permitted. Alley-loaded garages must have a photo-cell light and timer.

12. Repetition

In areas with Conventional Neighborhood lots, the same front elevation may not recur within three adjacent lots and cannot be located directly across the street. In areas with Traditional Neighborhood lots, because of the variety of lot sizes and types, no repetition guidelines will apply.

[ATTACH PAGES 3-27 OF ORIGINAL RESIDENTIAL ARCHITECTURAL DESIGN
GUIDELINES]

Architectural Styles

Settlers Ridge is designed as a traditional community. Colonial, Charleston, Italianate, Queen Anne, Craftsman Bungalow and Vernacular detailing have been selected for use in the architecture to maintain this traditional feeling. While a strict adherence to these historic styles is not required, the careful massing and level of detail that they reflect is mandatory. While builders may submit designs that do not fit specifically into the historic style categories chosen for the development, designs should be compatible with these historic styles. In all cases, designs will require the approval of the Architectural Review Committee.

The following sections outline the characteristics of the various historical styles chosen for the project. Illustrations of classic examples and modern interpretations of each style that would be acceptable for the project are provided, as well as details typically associated with each style.



Colonial



Charleston



Italianate



Victorian

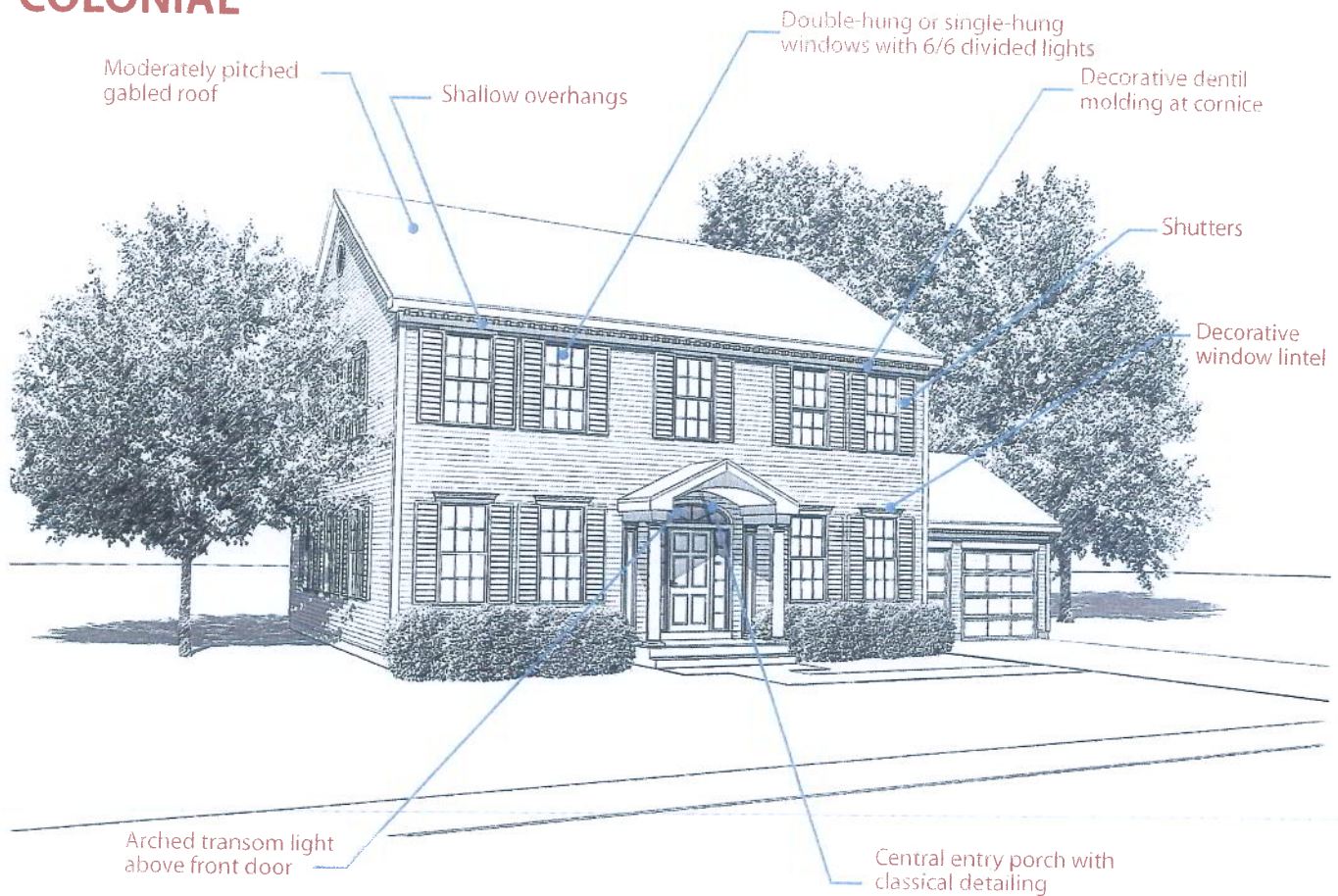


Craftsman



Vernacular

COLONIAL



Characteristics

Colonists to the new world brought with them the architectural styles they had used in Europe; there are many early examples of French, Spanish and Dutch Colonial, English Medieval, Federal and Georgian structures, and these styles continue to be referenced in new construction.

The Georgian and Federal styles have been selected to represent colonial housing in the Settlers Ridge development. As early as the 17th century, homes were being built in the east in the Georgian style, which incorporated renaissance style detailing. The Georgian style evolved into the more elaborate Adam or Federal style. These colonial styles were used across the United States as settlers made their way west, and have continued to be used as they represent, for many, the classic American home.

The Georgian style is generally massed as a simple box with doors and windows placed symmetrically.

Characteristic details of this style include a central, paneled front door with a rectangular transom light above, a decorative cornice (often with dentils), double-hung or single-hung windows (usually five across, but sometimes 3 or 7 across) with divided light window sash set individually (not paired) and evenly spaced. Typically, the roof is side-gabled, though gambrel and hipped roofs are also common.

The Federal Style is closely related to the Georgian style and resembles it in most respects. It can be distinguished by the use of semi-circular or elliptical fanlights over the front door (often with sidelights) and the occasional incorporation of Palladian windows. While the basic massing is the same as that of the Georgian style, projecting wings and porches (sometimes using polygonal and rounded forms), especially to the rear and sides may be used.



Massing

- Simple one, one-and-a-half, or two-story rectangular box form
- Sometimes with projecting wings or entry porches
- Door and window openings placed symmetrically



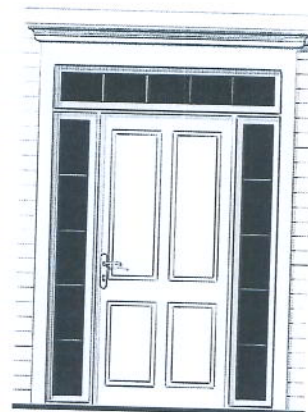
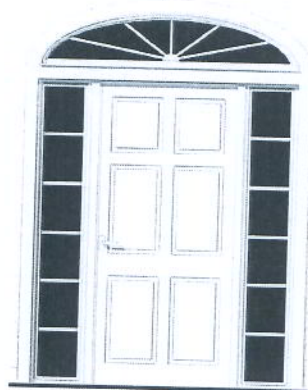
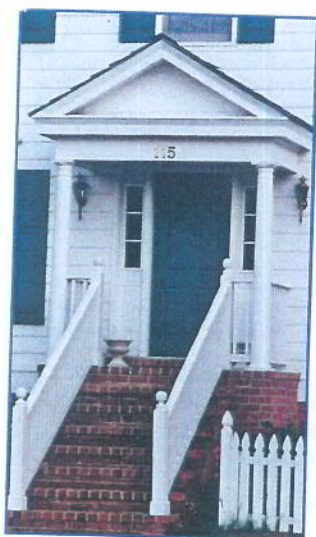
Roof

- Primary gables facing the side, with roof ridge parallel to the street
- Principal gabled roof with an 8:12 to 12:12 pitch
- Modest overhangs of 6 to 16 inches, with closed soffits and eaves



Materials

- Brick
- Other wall materials include smooth clapboard siding or simulated smooth wood siding
- Heavier materials such as stone and brick are encouraged at the base



Porch Details

- Classical detailing
- Porch projects from doorway only

Door Details

- 4- or 6-paneled doors
- Door surrounds composed of classical pilasters and decorative crowns, sometimes expanded to include an entry porch
- Door transom lights of rectangular panes, or fanlights (elliptical or semi-circular) on more elaborate homes



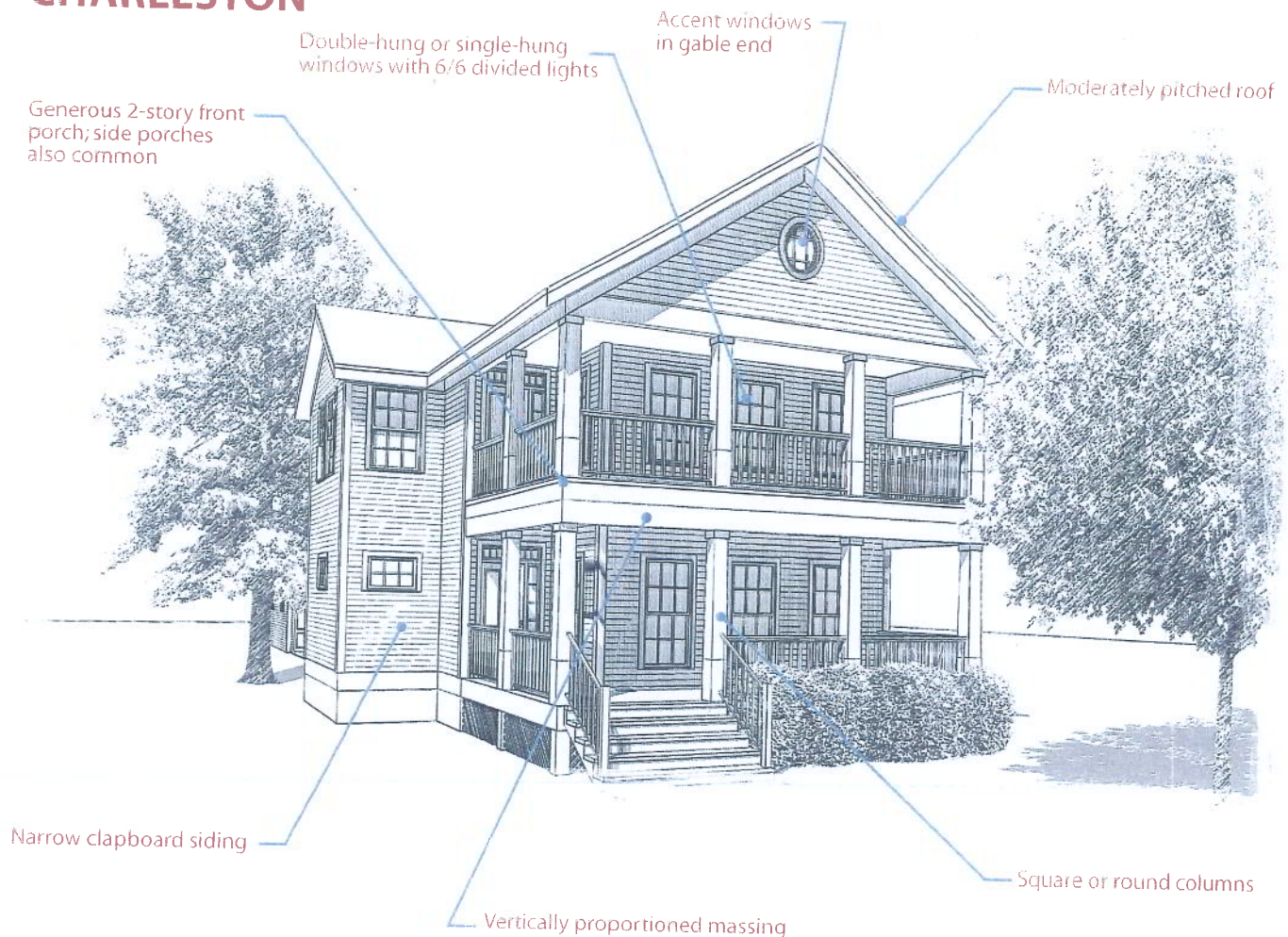
Window Details

- Generally double-hung or single-hung sash divided lights (6/6, 9/9, 12/12)
- Substantial or decorative window lintels
- Limited use of semi-circular, elliptical, Palladian, and small accent windows
- Louvered shutters

Cornice Details

- Frieze boards
- Crown moldings
- Dentils and modillions
- Adamesque decoration

CHARLESTON



Characteristics

This housing type draws its name from the many examples of two-story residential porches in Charleston, South Carolina. These porches are typically styled with Greek-Revival detailing. A renewed interest in ancient Greece between 1825 and 1860 resulted in the use of Greek temple motifs in American architecture, particularly for public buildings. In residential buildings, the style was created using low-pitched gable or hipped roofs with wide, two-part cornice trim echoing the frieze and architrave of classical entablatures, porches with square or round (usually Doric)

columns, and front doors with rectangular transom lights and sidelights. Pilasters can be used in place of columns. In its simplest form, the style can be represented with a frontal gable, and wide cornice trim and corner boards.



Massing

- Prominent front-facing gable over two-story porch
- Cross gable optional



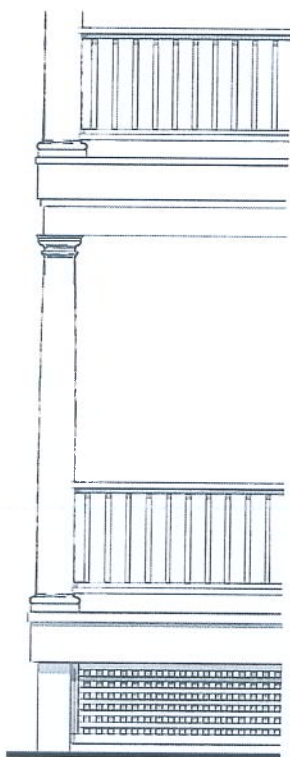
Roof

- Gabled moderate (8:12) pitch roof
- Wide two-part cornice trim



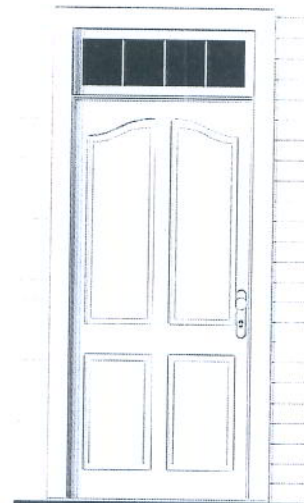
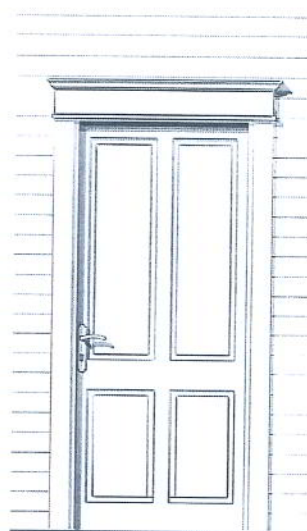
Materials

- Horizontal wood or simulated wood siding with 4 to 5 inches exposed to the weather
- Brick
- Brick, stone, or dark-painted concrete foundation base



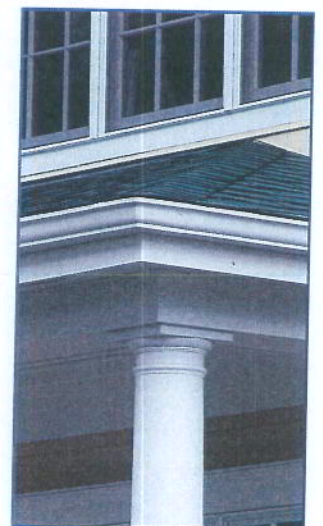
Porch Details

- Two-story porch full width of front-facing gable roof
- Square or Doric columns
- Delicate railings with square section 1-1/4 by 1-1/4 inch porch rail balusters
- Lattice treatments to screen area under porch



Door Details

- Single or paired door main entry with elaborate door surround
- 2, 4 or 6 paneled door
- Transom and sidelights



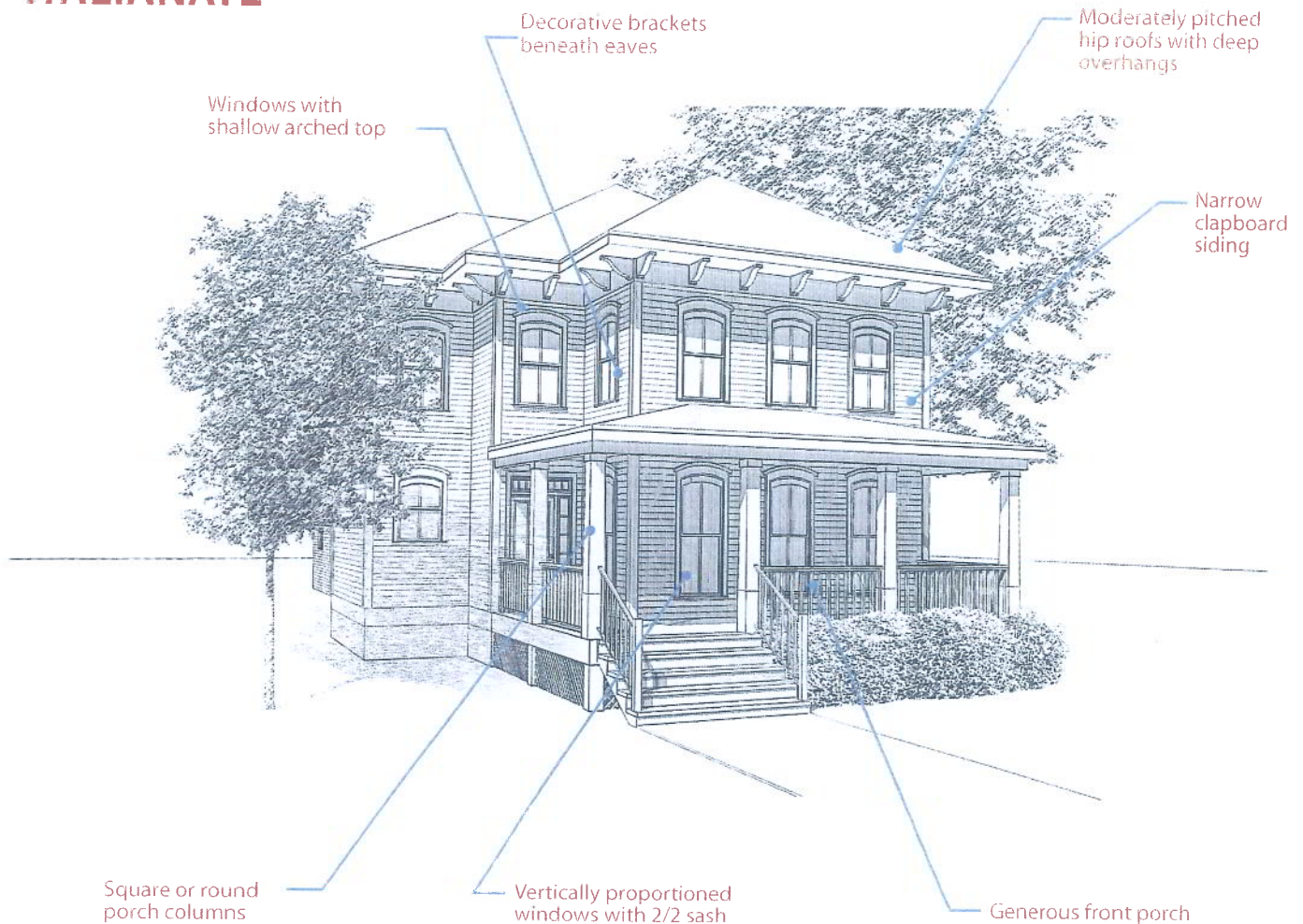
Window Details

- Double-hung or single-hung windows
- 2 over 2 or 6 over 6 multi-pane sash
- Individual or paired window treatments typical
- Louvered shutters optional
- Limited use of accent windows

Trim Details

- Wide trim at the cornice broken down into a classical frieze and architrave proportions
- Wide band of trim creating pediment form at gable
- Wide corner trim representing pilasters optional

ITALIANATE



Characteristics

Striving for a less formal architecture in the late 1830s, Americans developed romantic, picturesque styles. The Italianate style became popular through the pattern books of Andrew Jackson Downing, published in the 1840s and 1850s, and remained popular up to the financial panic of 1873 that put a halt to most new construction.

Residential Italianate examples were typically two to three stories in height with low-pitched hipped or gabled roofs, and wide overhanging eaves with decorative brackets. Towers and cupolas

were often incorporated. One-story porches usually had square posts with beveled corners. Single and paired doors were common, with large glazing panes often incorporated into the doors. Windows, often paired and tripled, commonly had curved or segmental arches. Windows were most often double-hung with 1/1 or 2/2 panes. While there are many elaborate Italianate examples, a simplified Italianate is considered more appropriate within Settlers Ridge.



Massing

- Two stories
- Simple hipped roof
- Front-facing gable



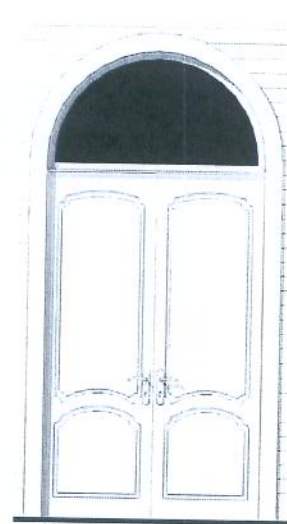
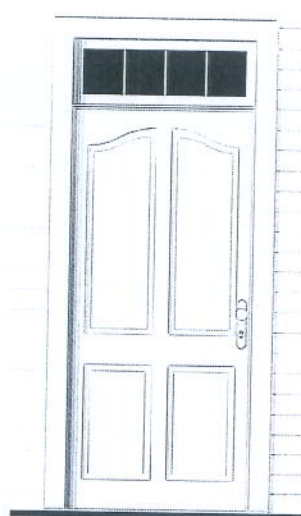
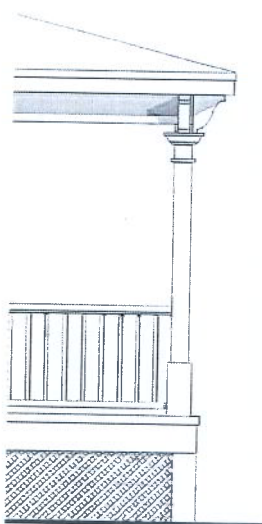
Roof

- Low-pitched roof
- Wide overhanging eaves with decorative brackets



Materials

- Horizontal wood or simulated wood siding with 4 to 5 inches exposed to the weather
- Brick
- Brick, stone, or dark-painted concrete foundation base

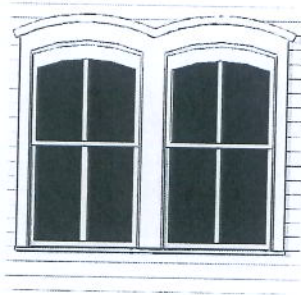
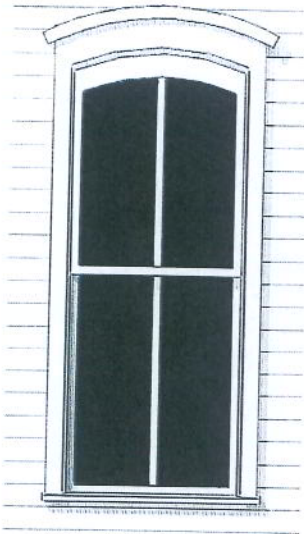


Porch Details

- Single-story
- Square posts with beveled corners

Door Details

- Paired or single doors
- Rectangular or arched (semi-circular, flattened arch, or segmental arch) doors
- Large-pane upper glazing in doors with panels below



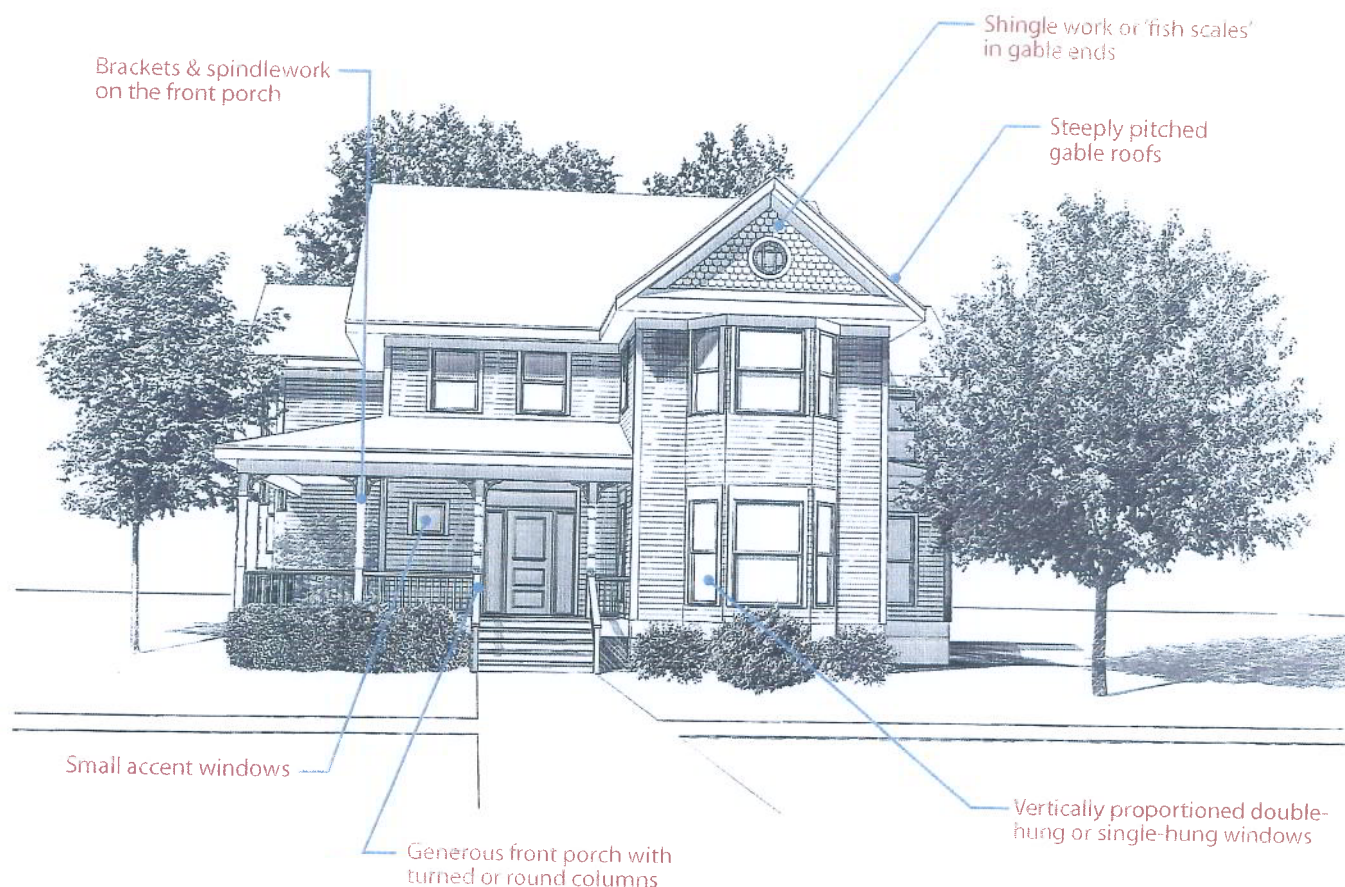
Window Details

- Tall, narrow, double-hung or single-hung sash
- 2 over 2 true divided lights or single-pane sash
- Rectangular or arched (semi-circular, flattened arch, or segmental arch) windows

Cornice Details

- Eave brackets at cornice line arranged singly or in pairs
- Brackets set on wall surface band defined with panels or trim

VICTORIAN



Characteristics

A group of 19th century English architects, led by Richard Norman Shaw, revived late medieval architectural details to create a style they called "Queen Anne". The first American example of the style was the 1874 half-timbered Watts-Sherman house in Newport, Rhode Island, designed by H.H. Richardson. As this new design idea moved west, mass-produced turned spindles and pre-cut architectural details were incorporated to create a distinctly American version of Queen Anne. As the industrial revolution created new wealth in the country, large homes were built in the new style, while many working class homes also incorporated the fanciful Queen Anne details.

The Queen Anne style relies on irregular massing and playful surface detailing to create lively exteriors. Steeply pitched cross-gabled roofs, bay windows, one-story porches with turned posts or classical columns, asymmetrical facades, patterned shingles (often called fish scales) or incised Eastlake ornament in gable faces or selected panels, spindle-work details at gable peaks and eave overhangs all help to characterize the Queen Anne style. Houses were often painted in bright clear colors with contrasting trim.



Massing

- Front-facing gable with or without side wings
- Gabled wings protruding from principal hip-roof form
- Hipped or conical roof tower elements on front elevations
- Use of projecting bays and turrets
- 1½ – 2 stories typical
- Symmetrical or asymmetrical façade composition
- Main level floor-to-ceiling height often 9 to 10 feet



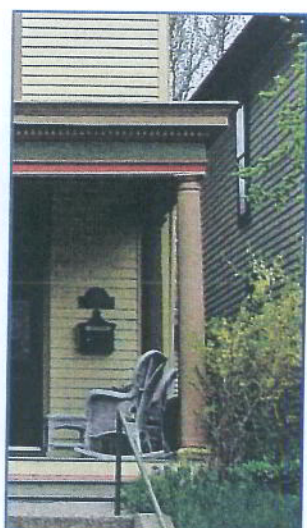
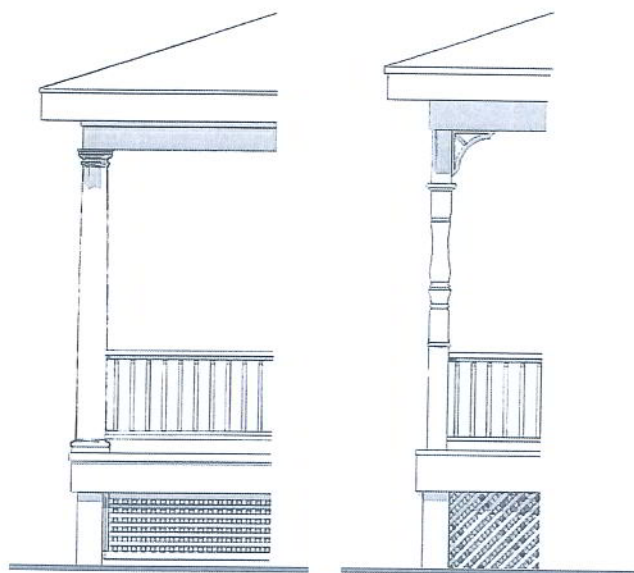
Roof

- Steeply sloping gable roofs from 8:12 to 12:12
- Secondary hip and shed roofs from 4:12 to 8:12 and gable roofs from 6:12 to 12:12
- Generous use of gable, hip, shed, or special dormers
- Roof overhangs, typically 12 inches, up to 16 inches acceptable
- Closed soffits and eaves with ogee or half-round gutters



Materials

- Horizontal wood, simulated wood, or shingle siding with actual or expressed coursing not to exceed 6 inches (4 to 5 inches preferred)
- Siding patterns include bevel (clapboard) and drop siding
- Full brick or brick up to the second floor line
- Decorative wood or shingle patterns in gable ends
- Brick, stone, or dark-painted concrete foundation base

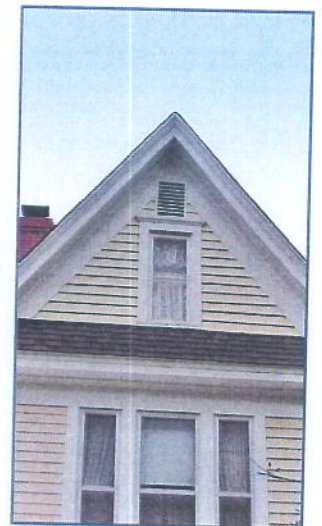
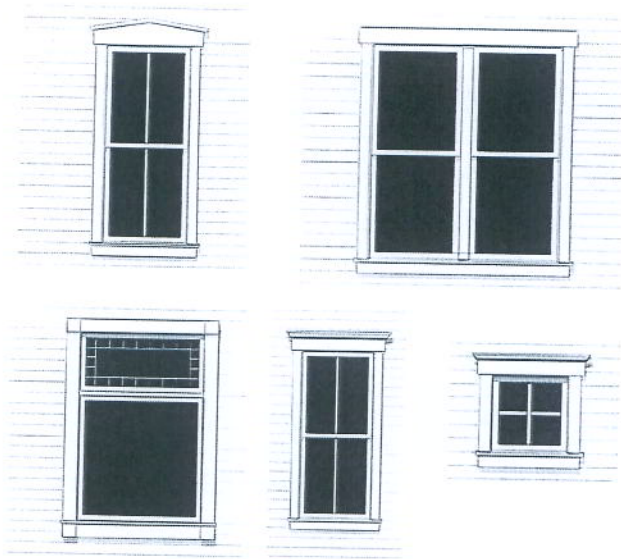


Porch Details

- Full or generous partial porch, with wraparound at corner encouraged
- Turned column styles at least 6 inches nominal size
- Round-column styles to include Doric, Ionic, and Tuscan, with a minimum diameter of 8 inches nominal size
- Square-column styles with chamfers and moldings at least 6 inches nominal size
- Delicate railings to include square or turned 1 1/4 x 1 1/4 inch balusters, or scroll saw-cut patterns
- Lattice treatments to screen area under porch
- Decorative brackets or porch columns

Door Details

- Single large pane of glass set into upper portion of door
- Delicate incised decorative detailing



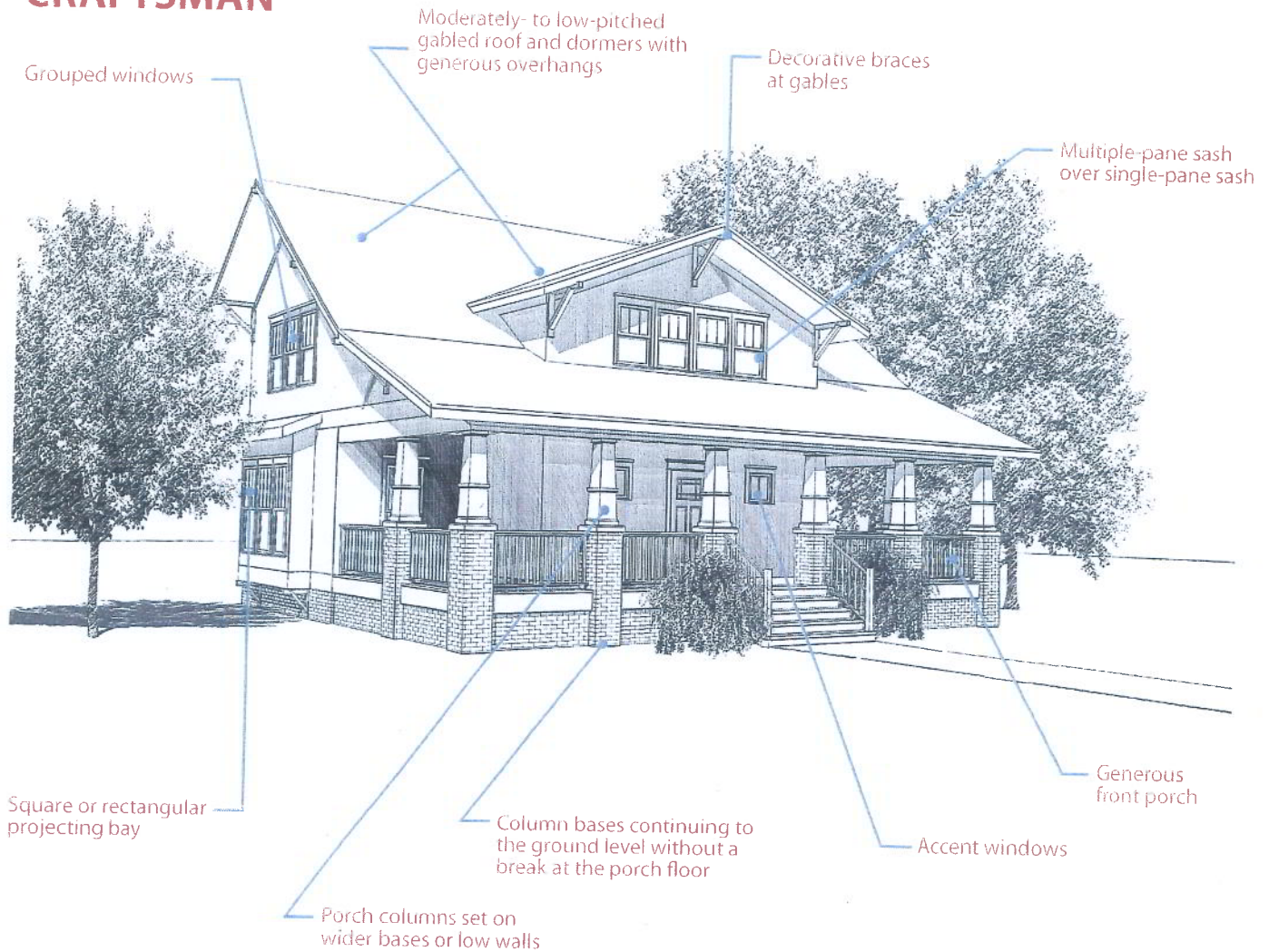
Window Details

- Vertical double-hung or single-hung windows
- Individual or paired window treatments typical
- Square and angled bay window treatments
- Limited use of accent windows and multi-pane sashes with true divided lites
- Wide (4 to 6 inches) or embellished exterior trim with cap moldings

Bay and Gable End Details

- Decorative gable-end truss work
- Rake moldings
- Ogee profile gutters at horizontal fascia

CRAFTSMAN



Characteristics

The Craftsman Bungalow originated in California with the work of brothers Charles Sumner Greene and Henry Mather Greene. Rooted in the English Arts and Crafts movement, the style developed out of an interest in hand-crafted detailing. Through magazines and pattern books, the design ideas spread east across the country. The typical example is a modest, one-and-a-half story "bungalow".

Craftsman Bungalow homes are characterized by low-pitched gables with decorative brackets, wide eave overhangs with exposed rafters, and porches

with columns resting on square bases (often tapered) that extend down past the porch floor to grade. Double-hung or single-hung windows often have a multi-pane upper sash and single-pane lower sash. Door and window details are variable, often incorporating leaded and stained glass details (see illustration). Wood clapboard siding or wood shingles are the dominant cladding materials. Porch bases can be clapboard, shingle, stone, brick, or stucco.



Massing

- Broad block of one, one-and-a-half or two stories
- Large front porch
- Square bays



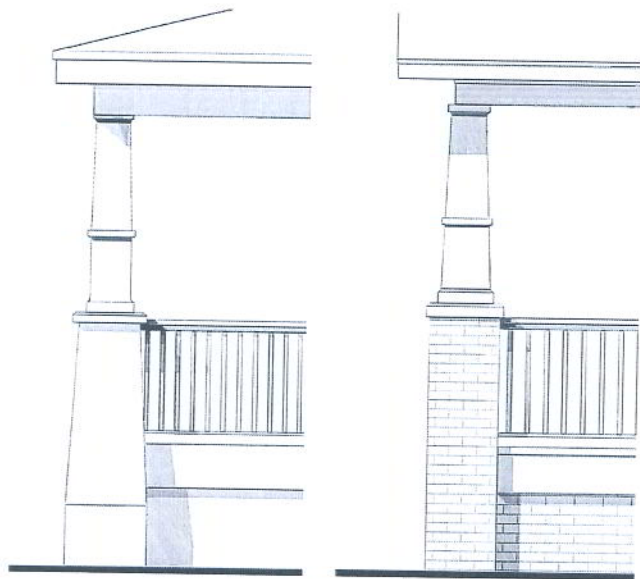
Roof

- Front-gabled, cross-gabled, or side-gabled
- Gable with 6:12 to 10:12 pitch
- Gable or shed dormers
- Exposed roof rafters at eave overhangs



Materials

- Shingles, or stucco
- Stone or brick typically confined to foundations, porch bases/columns, and chimneys



Porch Details

- Short, square upper columns or paired columns resting on massive piers or on a porch knee-wall.
- Piers begin at ground and extend above the porch deck
- Pier sides commonly taper out from top to bottom

Door Details

- Vertical rectangular lights
- Leaded windows in upper portion of door
- Multiple panels and panes



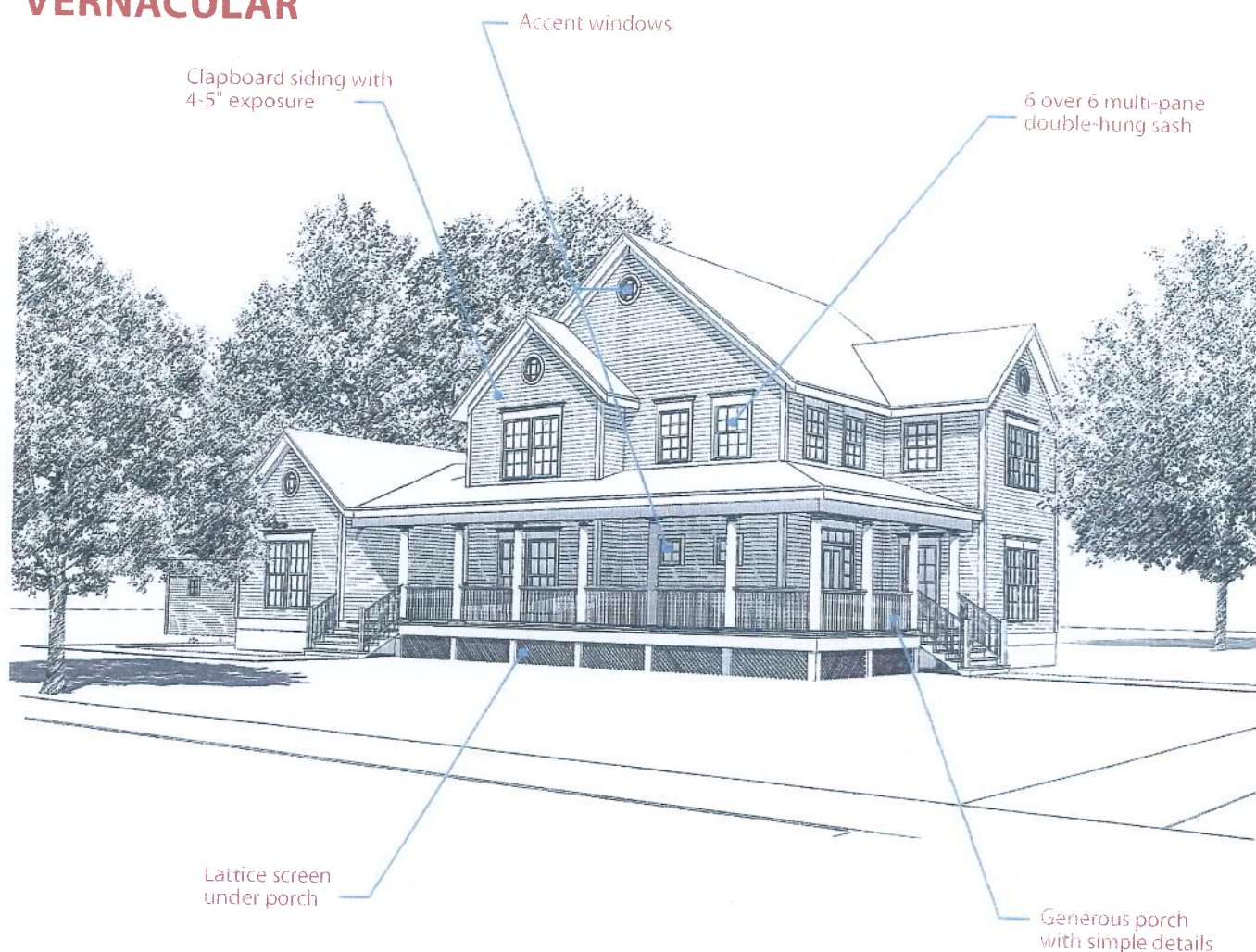
Window Details

- Double-hung or single-hung sash
- Upper sash with divided lights, lower sash with large single pane
- Windows often grouped in twos or threes
- 5-6" wide trim with head trim extended past jambs
- Tapered side trim with head trim flared at ends
- Limited use of small accent windows

Bay and Gable End Details

- Square bays with gable or shed roofs
- Decorative brackets, false beams or knee braces at gable ends
- Half-timbering or stick work in gable ends, porches and dormers

VERNACULAR



Characteristics

In the tradition of farmhouses of the rural Midwest, homes will be included in the Settlers Ridge project under the Vernacular style. The Vernacular is characterized by 2-story massing with steeply-pitched gable or hip roofs in front-facing, cross or el configurations. Generous porches, double-hung or single-hung windows with multi-pane sash and simple column and trim detailing typify this style.





Massing

- Front facing gable with or without cross gable
- Gabled wings protruding from principal hip-roof form
- 2 stories



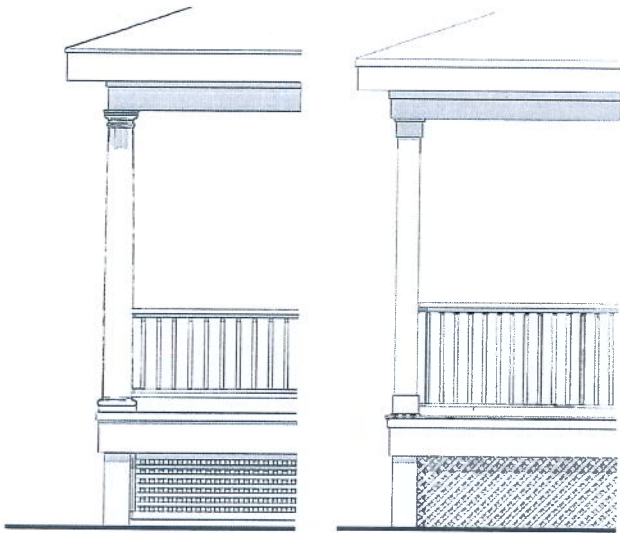
Roof

- Steeply sloping gable roofs (generally 10:12)
- Roof overhangs, typically 12 inches, up to 16 inches acceptable
- Closed soffits and eaves with ogee or half-round gutters



Materials

- Horizontal wood or simulated wood siding with 4 to 5 inches exposed to the weather
- Brick
- Brick, stone, or dark-painted concrete foundation base

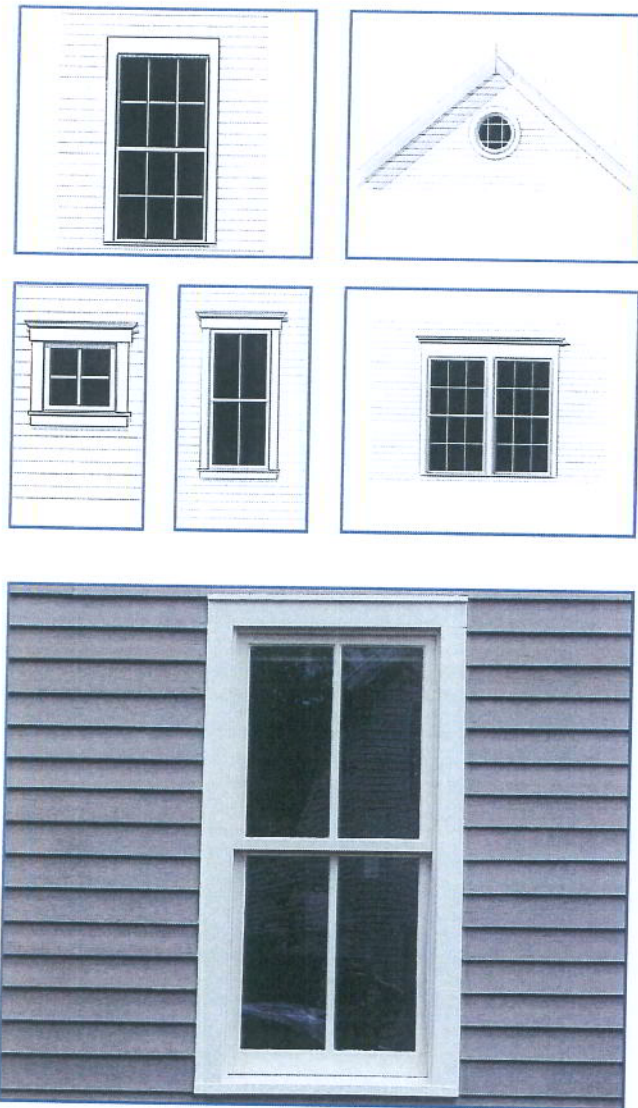


Porch Details

- Full or generous partial porch
- Simple round or square columns
- Delicate railings with square section 1-1/4 by 1-1/4 inch porch rail balusters
- Lattice treatments to screen area under porch

Door Details

- Single door main entry
- 4 or 6 paneled door
- Transom and sidelights optional



Window Details

- Vertical double-hung or single-hung windows
- 6 over 6, 2 over 2 or 6 over 1 multi-pane sash
- Wide (4 to 6 inches) or embellished exterior trim with cap moldings
- Individual or paired window treatments typical
- Square and angled bay window treatments
- Louvered shutters optional
- Limited use of accent windows